



B&H

BENSON / HUNT TERTIARY PLAN

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1.0

INTRODUCTION

1.0 INTRODUCTION

Guided by the community vision articulated in the Official Plan (OP), and building on the principles of ‘compatible’ development, the objective of the Benson/Hunt Tertiary Plan is to provide direction for the development of future residential uses that ‘recognize and enhance the unique character of the neighbourhood’.

As part of an older neighbourhood in the Town of Richmond Hill, the Benson/Hunt Tertiary Plan area is distinguished by a combination of older homes on relatively large lots, mature tree-lined streets and significant open areas of landscape. Several homes in the area have also been identified as ‘architecturally and historically important’.

Over time, the Benson/Hunt area has continued to evolve, change and mature, with the construction of both new buildings and replacement buildings. The incremental pattern of development activity, accompanied by a diversity of building form, type and scale, have resulted in a visually rich and interesting neighbourhood character - a unique feature that should be embraced and reinforced.

The recent development of medium-density residential uses, primarily along Benson and Hunt Avenues, has posed a number of challenges to maintaining the characteristics that define this neighbourhood. In this area, existing lots have been subdivided to allow for the development of townhouses which, with smaller units and more driveways, have reduced the amount of landscaped area overall, the ability to maintain and create tree-lined streets and the opportunity for on-street parking. Moreover, the designs of these buildings are not in keeping with that of the neighbourhood.

To address these challenges, and in accordance with the policies of the Official Plan, the Benson/Hunt Tertiary Plan has been undertaken to provide clarity and certainty as to where and how development may take place in the Tertiary Plan area over the long term. The Tertiary Plan draws from the planning and policy context, the ‘challenges’ presented by medium-density forms of development, feedback from the public engagement process, a character review and analysis of the area and fundamental principles of good planning and urban design.

1.1 PURPOSE

- a) The purpose of the Benson/Hunt Tertiary Plan, as set out in the policies of the Official Plan, is to determine appropriate locations for medium-density residential development and to establish area-specific design criteria to guide development within the Tertiary Plan area.
- b) It is the intent of the Tertiary Plan to provide certainty on where and how medium-density development may occur within the Tertiary Plan area. At the same time, the Tertiary Plan identifies where low-density residential areas are to be protected and where and how transitions between medium-density and low-density development is to occur.
- c) Development, including in the transition areas, will be subject to site-specific design criteria.
- d) The Tertiary Plan aims to allow a variety of housing types and forms to coexist where appropriate, while enhancing the unique character of the neighbourhood and promoting design excellence in the private and public realms.

1.2 HOW TO READ THIS PLAN

The Benson/Hunt Tertiary Plan consists of four main parts; these include:

- a) The Tertiary Plan Context, which describes the area of the Tertiary Plan, the vision and principles that have guided its development and the process by which the public have had the opportunity to provide their input.
- b) The Planning Context, which describes the policy and zoning framework for the Tertiary Plan.
- c) Physical Context and Character, which provides an overview of the Tertiary Plan area with respect to the existing pattern of development, built form and streetscape design.
- d) The Tertiary Plan, which, based on the context, provides land use and built form directions for future development in the area.

1.3 TERTIARY PLAN CONTEXT

- a) The boundary of the Tertiary Plan area is identified on Schedule A. The boundary reflects the physical context and built form of the neighborhood in relation to the policies of the Town's Official Plan. A review of the history of the area and past development pressures was undertaken to understand the patterns of development in the area and the changes that have occurred gradually over time.
- b) The Benson/Hunt Tertiary Plan area is located in the neighbourhood west of the Downtown Local Centre. The Tertiary Plan area generally includes the lots fronting onto Levendale Road, Hunt Avenue, Benson Avenue, Mill Walk Court, Mill Street, Lucas Street and Hall Street, as shown on Schedule A.
- c) Designated collector streets in the Tertiary Plan area include Mill Street and the portion of Hall Street between Mill Street and Wright Street. For this reason the southern portion of the of the study area was included in accordance with the Official Plan.
- d) Designated local streets in the Tertiary Plan area include Levendale Road, Benson Avenue, Hunt Avenue, Lucas Street, Hall Street and Mill Walk Court.
- e) The character, identity and heritage attributes of the Benson/Hunt Tertiary Plan area shall be reinforced through appropriate height, massing, and architectural detailing of built form and appropriate landscaping and streetscaping elements. As such, all new development within the Benson and Hunt Area shall be evaluated on the basis of the principle of compatible development, meaning that:

“Compatible new development should represent a ‘good fit’ within the physical context and character of the surrounding area.”

- f) The Tertiary Plan establishes urban design guidelines with respect to built form, transition, site planning, landscaping and grading criteria recommended to guide all forms of residential development in the area.
- g) It is intended that the Benson/Hunt area be developed in accordance with the policies of this Tertiary Plan in conformity with the Official Plan and in conjunction with the Zoning By-law of the Town of Richmond Hill.
- h) The following text and maps, identified as Schedule A – Study Boundary and Schedule B – Tertiary Plan, attached hereto, constitute the Benson and Hunt Area Tertiary Plan.



Mill Street - tree canopy

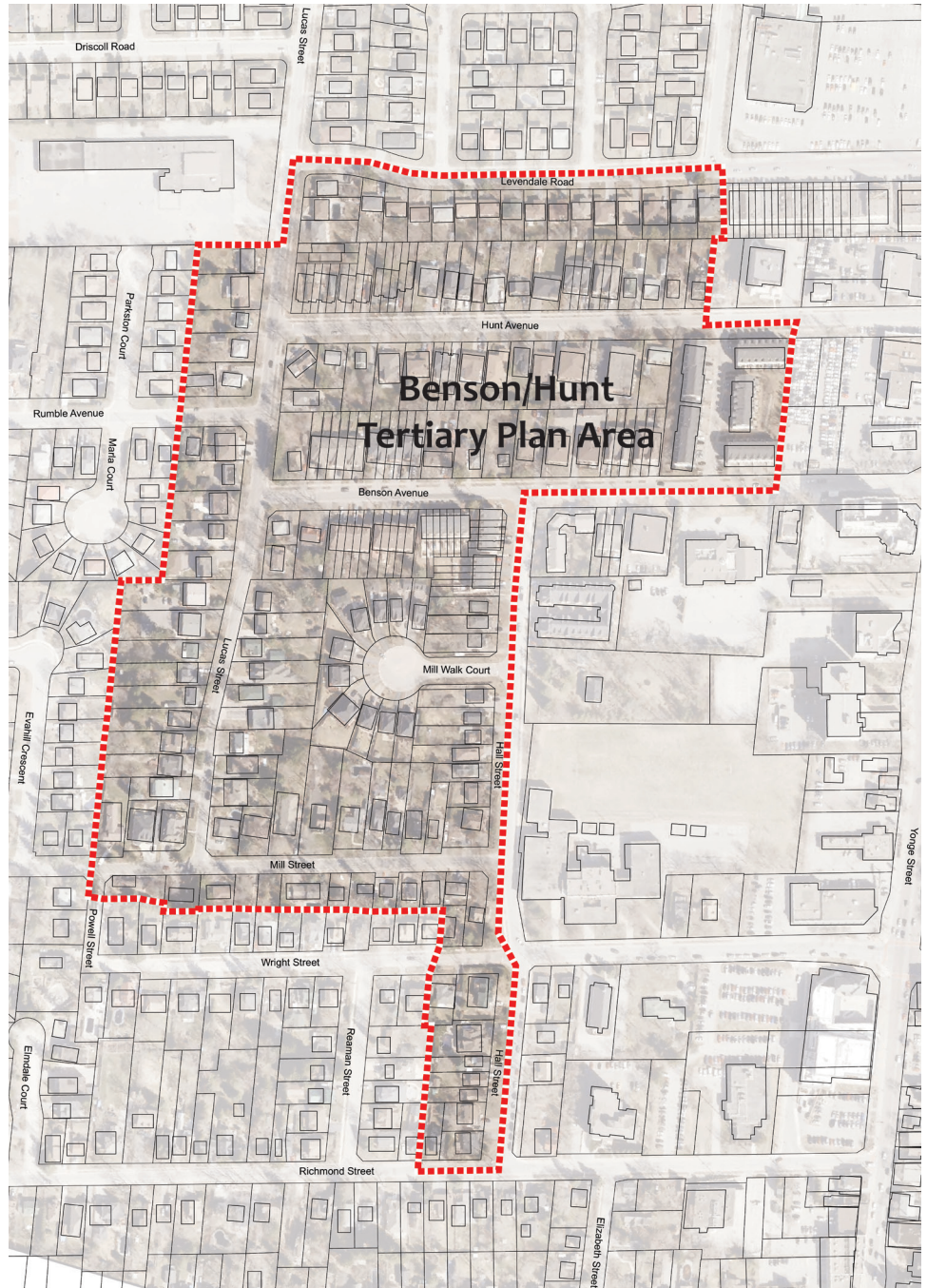


Existing dwelling



Urban tree canopy

Schedule A - Tertiary Plan Boundary



- Tertiary Plan Boundary
- Existing Buildings

1.4 VISION AND PRINCIPLES

The Benson/Hunt Tertiary Plan is guided by the following vision and principles established in the Official Plan:

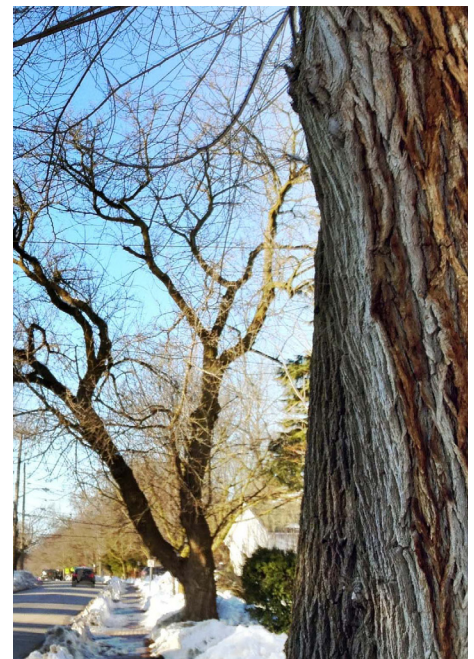
- a) Compatibility - Development shall be compatible with the character of the adjacent and surrounding area in accordance with the policies of the Official Plan and subject to criteria as set out in an Infill Plan or Tertiary Plan, as approved by Council.
- b) Place-making – ‘to recognize the unique aspects of the neighbourhood, understand its existing attributes and how they combine to create a defined character’, including:
 - The variety of building types and styles;
 - Buildings of historic or architectural quality;
 - The character of the adjacent Downtown Local Centre;
 - The predominance of mature trees and mixed forest character; and,
 - Pedestrian-scaled development.
- c) Connectivity and Mobility - ‘Plan for transit and pedestrian-oriented development’ and ‘Promote connectivity, mobility and accessibility within and between neighbourhoods, including:
 - Creating pedestrian-oriented and pedestrian-scaled streets; and,
 - Providing connections to public transit.
- d) Urban Design – ‘to strive for design excellence in the public and private realm’, including:
 - Built form style, massing, design;
 - Patterns of streets, blocks, lots and lanes;
 - Streetscape design, landscaped areas and treatments; and,
 - Pattern of yard setbacks.



Block townhouse development on Benson Avenue



Diverse built-form



Tree-lined streets

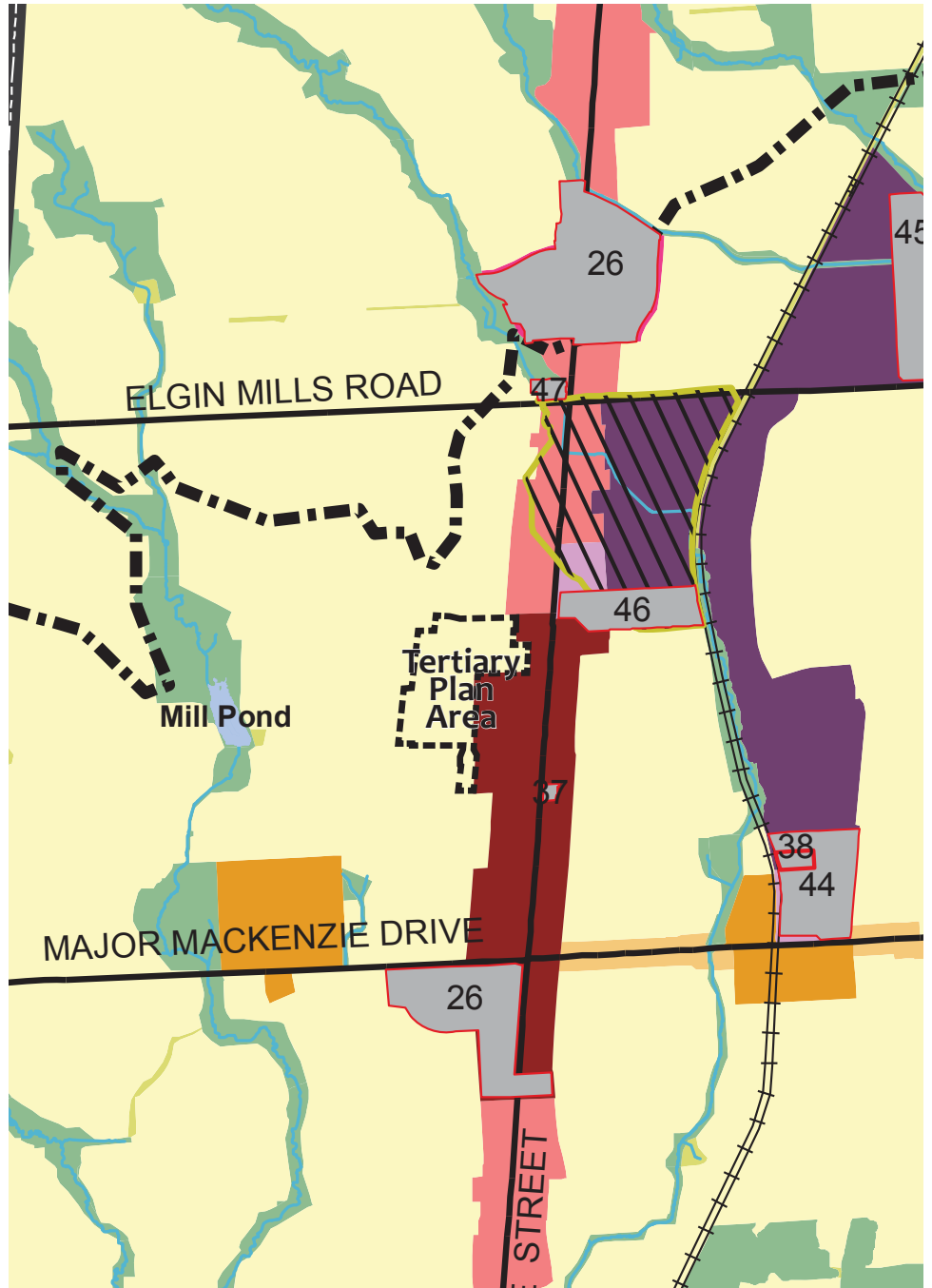
1.5 PUBLIC CONSULTATION















- a) In keeping with the community engagement strategies established by the *People Plan* Richmond Hill process, residents were provided the opportunity to participate in the Benson/Hunt Tertiary Plan process.
- b) The public consultation events were well attended, with resident representation from all of the areas within the Tertiary Plan.
- c) The feedback received from these events generally addressed issues of building type, building height, building design, building setbacks and landscaping as they relate to the overall character of the community.

2.0

**PLANNING
CONTEXT**

Figure 1 / Official Plan - Schedule A2 - Land Use



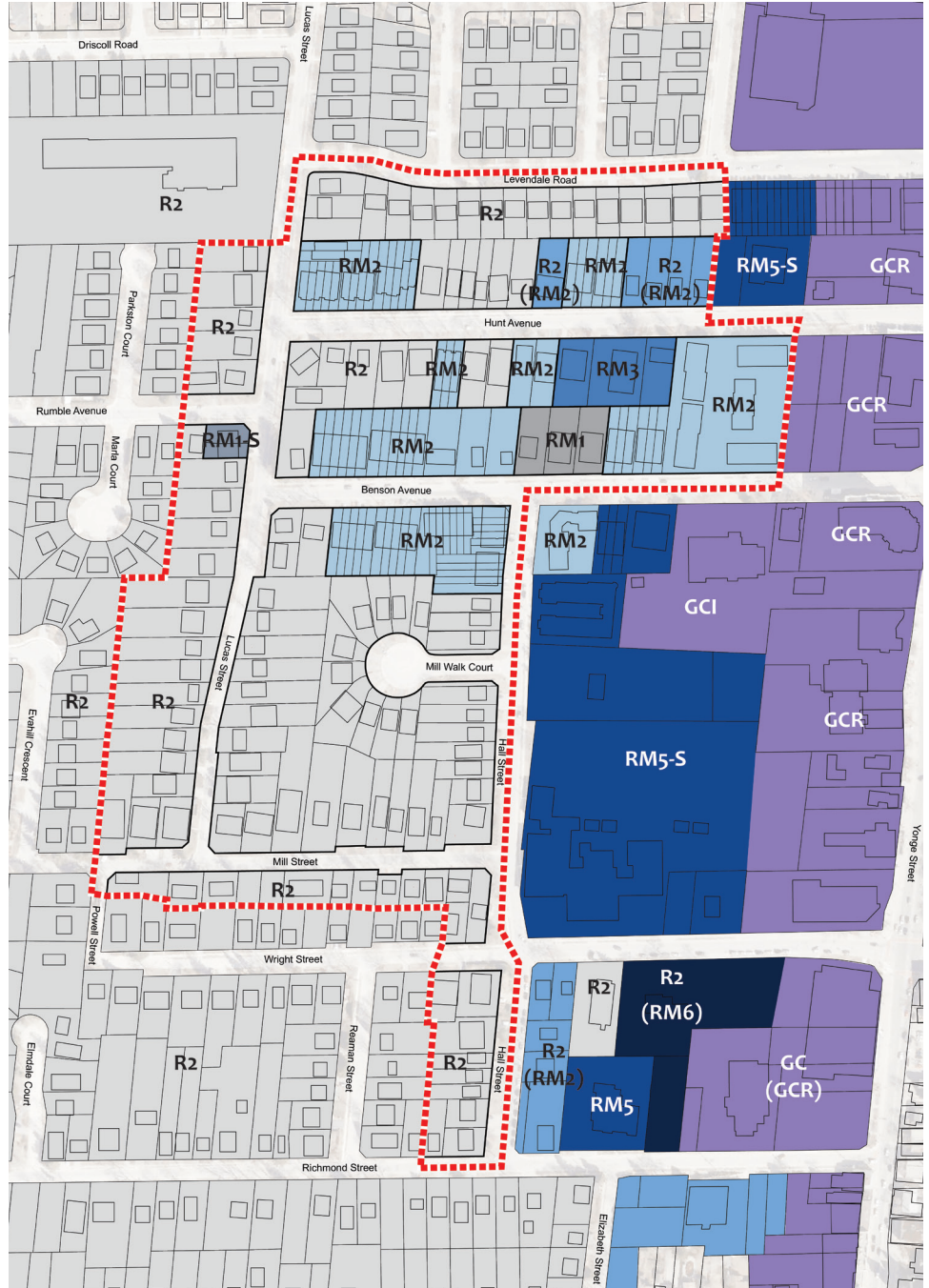
- | | |
|---|---|
|  Major Urban Open Space |  Regional Mixed Use Corridor |
|  Employment Area |  Local Development Area |
|  Employment Corridor |  Local Mixed Use Corridor |
|  Richmond Hill Centre |  Neighbourhood |
|  Downtown Local Centre |  Utility Corridor |
|  Oak Ridges Local Centre |  Special Policy Area |
| |  Flood Vulnerable Area |
| |  Rural Settlement Area |

2.0 PLANNING CONTEXT

2.1 OFFICIAL PLAN

- a) The Official Plan designates the Benson/Hunt Tertiary Plan area as part of the 'Neighbourhood' designation. Lands to the north, west and south of the Tertiary Plan area are also designated 'Neighbourhood'. Lands to the east are designated 'Downtown Local Centre'.
- b) Neighbourhoods are characterized by low-density residential areas. Opportunities for small-scale infill development may exist within Neighbourhoods as they evolve over time.
- c) In the neighbourhood designation, low-density residential uses such as low-rise single detached, semi-detached and duplex dwellings are permitted.
- d) Medium-density residential uses such as low-rise townhouses and walk-up apartments are also permitted on lands that have frontage on:
 - An arterial street;
 - A collector street and is within walking distance to a public transit stop and as identified in a Tertiary Plan undertaken by the Town and approved by Council; and
 - A local street and only in proximity to an existing medium-density residential development as identified in a Tertiary Plan undertaken by the Town and approved by Council.
- e) Development shall be compatible with the character of the adjacent and surrounding area in accordance with policy 4.9.2.4 of the Official Plan, which includes:
 - Predominant building forms and types
 - Massing
 - General pattern of streets, blocks, lots and lanes
 - Landscaped areas and treatments
 - General pattern of yard setbacks
- f) Development within the Neighbourhood designation shall have a maximum building height of 3 storeys, except on an arterial street where the maximum building height shall be 4 storeys.
- g) Existing buildings greater than 3 storeys which legally existed on the date of adoption of the Official Plan, shall be permitted. New development greater than 3 storeys shall only be permitted in accordance with the policies of this Plan.
- h) Development shall be assessed on the basis on conformity with the relevant urban design guidelines which have been approved by Council in accordance with the policies of Section 3.4.1.2 of the Official Plan.

Figure 2 / Zoning Map



- Tertiary Plan Boundary
- R2 - Residential Second Density (Single Detached)
- RM1 - Residential Multiple First Density (Single Detached, Semi-Detached, Multiple Unit)
- RM1-S - Residential Multiple First Density - Special (Single Detached, Semi-Detached)
- RM2 - Residential Multiple Second Density (Townhouse/Row, Multiple Unit)
- R2(RM2) - Residential Second Density* (Single Detached*, Townhouse/Row*)
- RM3 - Residential Multiple Third Density (Multiple Unit)
- RM5/RM5-S - Residential Multiple Fifth Density - Special
- RM6 - Residential Multiple Sixth Density (apartments)
- GCR/GCI Density

2.2 ZONING

The Benson/Hunt Tertiary Plan area is generally a low-density residential area which has experienced incremental change over time. This has generally involved new construction and replacement of single-detached dwellings on lots zoned for such uses. The majority of more recent development, in the last ten years, has been in the form of medium-density street townhouses, which have occurred along Benson and Hunt Avenues through site-specific amendments to the Zoning By-law.

- a) The existing Zoning By-law predates the Official Plan.
- b) The existing Zoning By-law permits the following residential uses:
 - i. R2 Residential Second Density Zone permits single-detached dwellings;
 - ii. RM1 Residential Multiple First Density Zone permits single-detached dwellings, semi-detached dwellings, and multiple-unit dwellings;
 - iii. RM1-S Residential Multiple First Density Zone permits single-detached and semi-detached dwellings;
 - iv. RM2 Residential Multiple Second Density Zone permits townhouse dwellings and multiple-unit dwellings;
 - v. RM3 Residential Multiple Third Density Zone permits multiple-unit dwellings;
 - vi. R2(RM2) Residential Second Density Zone which permits single-detached dwellings and the uses in the RM2 zone, subject to the provisions of the Zoning By-law.
- c) The majority of properties in the area are zoned R2, which permits single-detached dwellings.
- d) Within the Tertiary Plan area, there are two types of circumstances that allow for medium-density development, these are:
 - Lands that are currently zoned for medium-density development and allow for townhouses, but do not have the development standards necessary to implement street-oriented townhouses.
 - Lands that are not zoned for medium-density development but have been developed through site-specific amendments to permit the use and standards.
- e) Most of the townhouse development which has occurred in the Tertiary Plan area has been by way of site-specific approvals to implement site-specific development standards.
- f) The area has existing zoning permissions for medium-density in place on certain properties within the Tertiary Plan area, which has led to continued pressure for additional medium-density in the area.

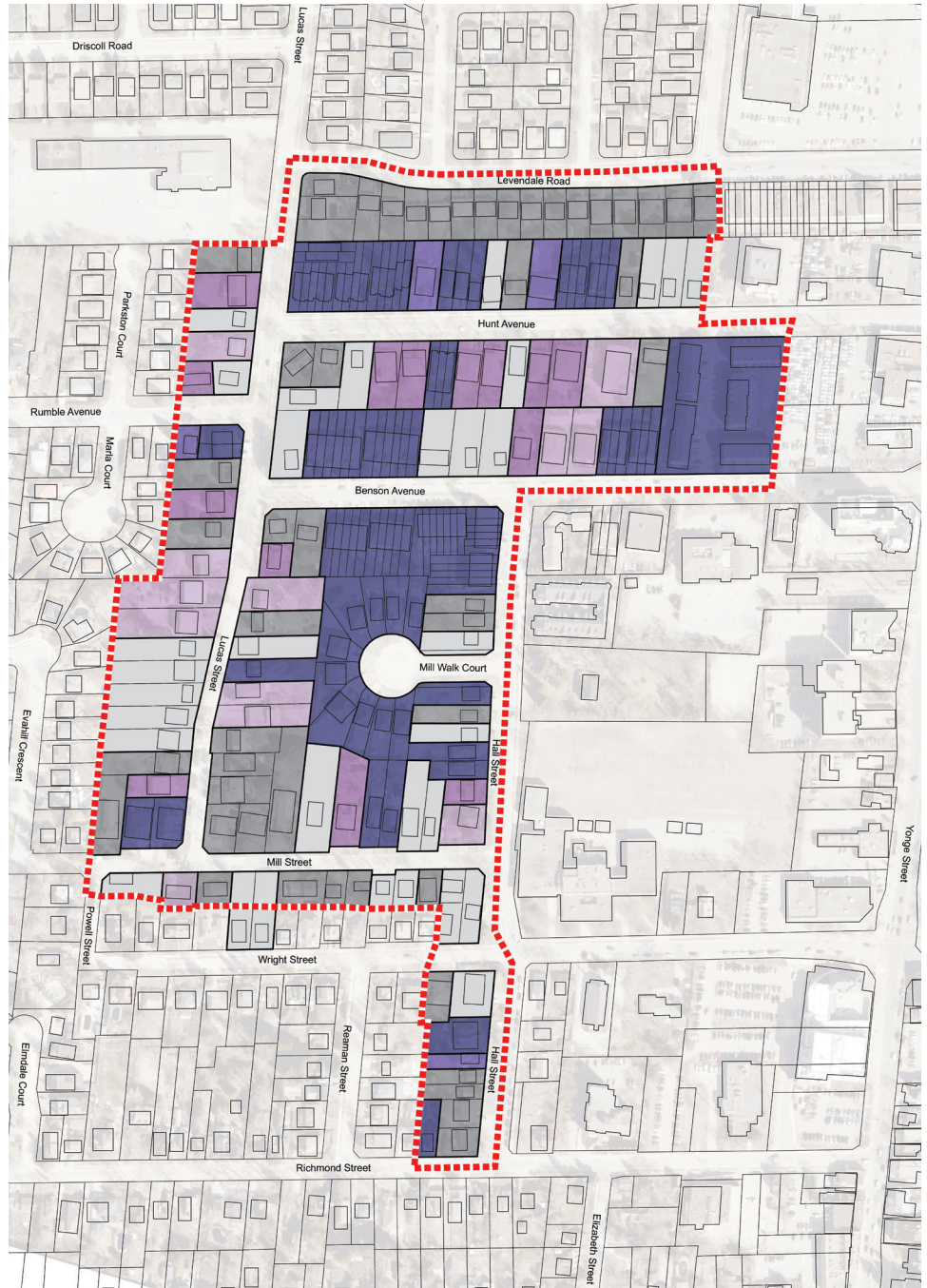
2.3 SUMMARY/CONCLUSION

Zoning standards for medium-density development, while in effect on certain lots on Benson and Hunt Avenues, need to be updated in accordance with the new criteria and urban design guidelines set out in this Tertiary Plan which implement the policies of the Official Plan.

3.0

**PHYSICAL CONTEXT
AND CHARACTER**

Figure 3 / Pattern of Residential Development Map



- Tertiary Plan Boundary
- Built before 1949
- Built between 1950-1959
- Built between 1960-1969
- Built between 1970-1979
- Built between 1980-1989
- Built after 1990

3.0 PHYSICAL CONTEXT AND CHARACTER

3.1 PATTERN/FORM OF RESIDENTIAL DEVELOPMENT

The Benson/Hunt Tertiary Plan area is generally characterized by a mix of low-rise residential uses consisting mainly of old, new and single-detached and semi-detached dwellings. The lot sizes and the orientation of the homes provide ample space for landscaping and tree planting. One of the neighbourhood defining characteristics that has resulted from this form and pattern of building is the existing tree canopy.

- a) Within the Benson/Hunt Tertiary Plan area the types of dwellings that exist include:
 - i. Single-detached dwellings (1-storey and 2-storey)
 - ii. Semi-detached dwellings (2-storeys)
 - iii. Townhouse dwellings (2-storeys and 3-storeys)
 - iv. Block townhouse dwellings (3-storeys)
 - v. Multiple-unit dwellings (3-storeys)
- b) Walk-up style apartments and townhouse dwellings are located within the Tertiary Plan area along Lucas Street, Benson Avenue and Hunt Avenue, in proximity to Yonge Street.
- c) The age of buildings in the Benson/Hunt Tertiary Plan area range from before 1949 to after 1990, with a number of homes in and around the Mill Street area identified as 'architecturally and historically important'.
- d) The pattern of development in the Benson/Hunt Tertiary Plan area indicates that a majority of buildings in the area were built prior to the 1960s.
- e) Redevelopment in the area, including replacement housing, occurred generally in the period between 1960 and 1990. This includes single-detached dwellings throughout the area, and the multiple-unit dwellings located on the west side of Lucas Street and along Benson and Hunt Avenues.
- f) The more recent developments in the area include the 2-storey single-detached dwellings on Mill Walk Court, which were created in the 1990's through an infill plan of subdivision process, and a number of the 2 to 3-storey townhouse dwellings on Benson Avenue, Hunt Avenue and the southwest corner of Hall Street and Benson Avenue, which were implemented through site-specific approvals.



Single-detached dwelling on Hall Street

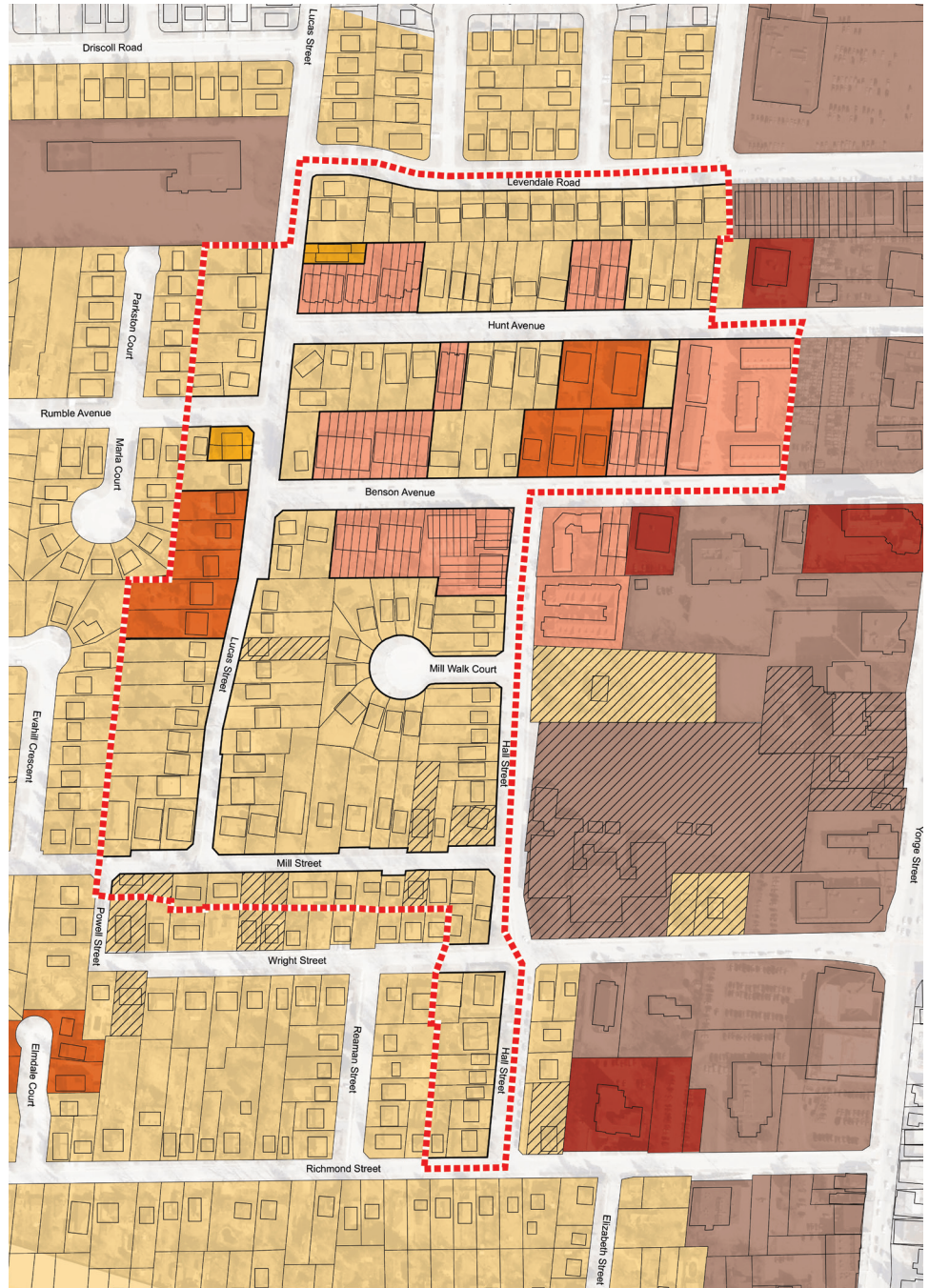


Single-detached dwellings on Hunt Avenue



Street townhouses on Benson Avenue

Figure 4 / Existing Residential Built Form Map



- Tertiary Plan Boundary
- ▨ Buildings Listed in the Town's Inventory of Buildings of Architectural and Historical Importance
- Single-Detached Dwellings
- Semi-Detached Dwellings
- Townhouses
- Multiple Unit Dwellings
- Apartment Buildings
- Non-Residential

3.2 STREETScape DESIGN/LANDSCAPING



Large setbacks with mature trees



Mature trees / urban canopy

- a) Within the Benson/Hunt Tertiary Plan area, the existing vegetation is characterized by a high level of bio-diversity, a significant number of mature trees and large numbers of original plantings.
- b) The Tertiary Plan area displays a natural community with significant canopy cover and representation of deciduous and coniferous composition.
- c) The objectives for streetscaping and landscaping in the area are to reinforce the attributes of the existing vegetation, enhance the urban tree canopy, promote a diverse tree population, and utilize native planting stock wherever possible.
- d) Tree planting and landscaping, particularly along the street line which defines the private/public interface, should reinforce a pedestrian-oriented streetscape.
- e) New development in the Benson/Hunt Tertiary Plan area should incorporate street tree species that reinforce the character fo the area, and in accordance with the Town's Native Trees Selection Guide.

3.3 NEIGHBOURHOOD CHARACTER

- a) 'Place-making' is one of the objectives of the Official Plan, and involves a multi-faceted approach to the planning, design and management of public spaces, including streetscapes, in combination with buildings in adjacent private spaces.
- b) The principles of 'Place-making' are important to the Benson/Hunt Tertiary Plan as a way to understand, recognize, and protect the unique aspects and characteristics of the neighbourhood. They provide the basis for establishing design criteria to guide future development that represents a 'good fit' within the existing context and enhances the characteristics of the neighbourhood.
- d) The Benson/Hunt Tertiary Plan recognizes the unique aspects and characteristics that, when taken as a whole, set it apart from its surrounding context. The attributes that define the character of the Benson/Hunt Tertiary Plan area include:
- The pattern and form of residential development that has occurred, and is occurring, in the area; this includes the height, massing, style and setback of buildings and their relationship to one another and to the street.
 - Streetscape design and landscaping, which includes tree-lined, pedestrian-oriented streets and large areas of grass lawns and planting.
 - Heritage, which includes the buildings identified as historically important
- e) The following section provides a character overview of the Tertiary Plan area.



Single-detached dwellings on Hunt Avenue



Street townhouses on Benson Ave.

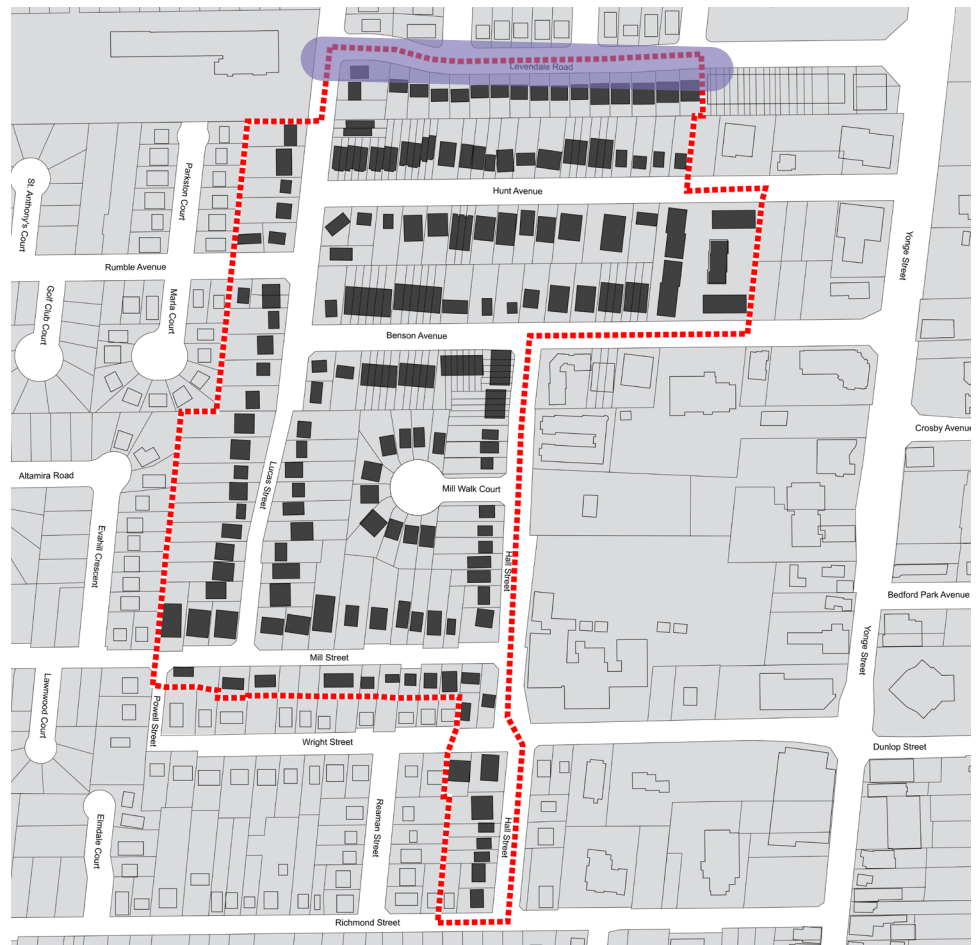


Single-detached dwellings on Hall Street



Walk-up apartments on Hunt Avenue

3.3.1 LEVENDALE ROAD



- a) Levendale Road is a designated Local Street in the Official Plan.
- b) Levendale Road is a distinct area within the Tertiary Plan area; it is characterized by a general consistency in the size of lots, and the type, form, style and age of housing.
- c) The built form along Levendale Road consist primarily of single-detached, 1 ½ storey split-level 'ranch style' dwellings.
- d) Many of the dwellings' exteriors are designed with a combination of masonry (brick or stone) and siding.
- e) Building setbacks are also generally consistent along the street, and allow for large areas of front lawn and landscaping, including a significant number of mature deciduous and coniferous trees.
- f) The adjacent areas located to the north and outside of the Tertiary Plan area, display these same characteristics.



Consistent Lot Size, Height and Massing



Consistent Building Forms and Styles



Mature Trees

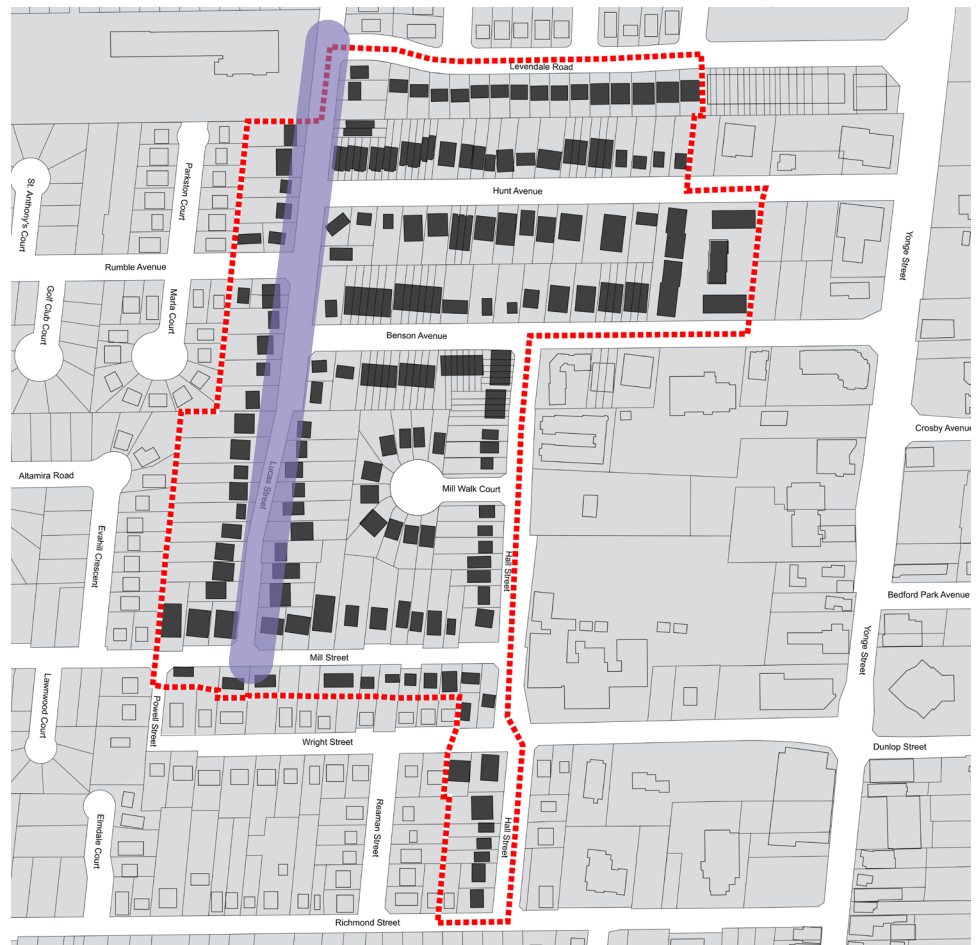


Consistent Building Setbacks



Lot Pattern is Similar to the Surrounding Area

3.3.2 LUCAS STREET



- a) Lucas Street is a designated Local Street in the Official Plan. The width of the street and its right-of-way varies, as it is significantly wider at the north than at the south.
- b) The variation in street width contributes to the varied character along Lucas Street from the north to the south and east to west portions.
- c) Generally, the lotting pattern is more consistent in the south portion and varied in the north portion where single-detached, semi-detached, townhouse and multiple-unit dwellings are located.
- d) The depth of the lots located along the south portion of the street are significantly greater than those located at the north.
- e) Landscaping along Lucas Street is generally consistent and characterized by a maturity and diversity of plant species that include both deciduous and coniferous specimens. Further, the portion of street on the east side, between Hunt Avenue and Benson Avenue, is distinguished by the concentration of a number of very large, mature coniferous trees that create dense shade in this area.



Varied building height and massing



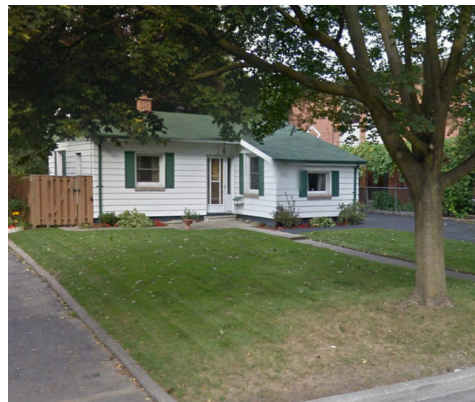
Mature street trees



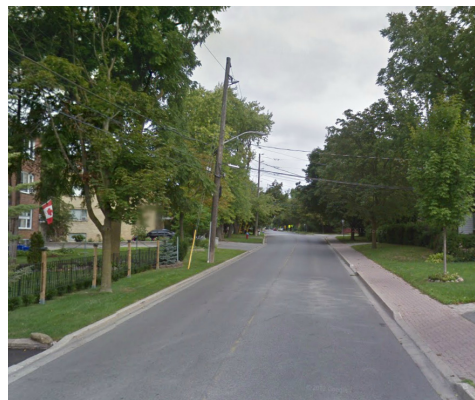
Varied building setbacks



Varied building forms and lot sizes - multiple-unit dwelling, single-detached dwelling



Narrowing street width (south toward Mill Street), and change in character



3.3.3 MILL STREET



- a) Mill Street is a designated Collector Street in the Official Plan. Notwithstanding this designation, Mill Street is a relatively narrow street in the Tertiary Plan area, with front-yard property lines that vary.
- b) Mill Street is an area within the Tertiary Plan that is characterized by a significant number of older, single-detached homes located on relatively large lots, including a number that are listed in the Town's Inventory of Building of Architectural and Historical Importance.
- c) The styles of these homes include a range of 1-storey 'bungalows', 1 to 2-storey traditional brick dwellings which are found throughout the Toronto area and 1 to 2-storey combination brick, stone and/or siding dwellings.
- d) There are a variety of lots sizes (both frontage and depth) on both sides of the street.
- e) The relatively large lots and building setbacks, have created large areas of landscaping that include grass lawns, plantings, mature trees and original plantings. Taken as a whole, these elements help to frame the street and enhance the pedestrian-oriented environment.



Varied building forms and styles



Narrow road width



Mature trees frame the street



Large setbacks



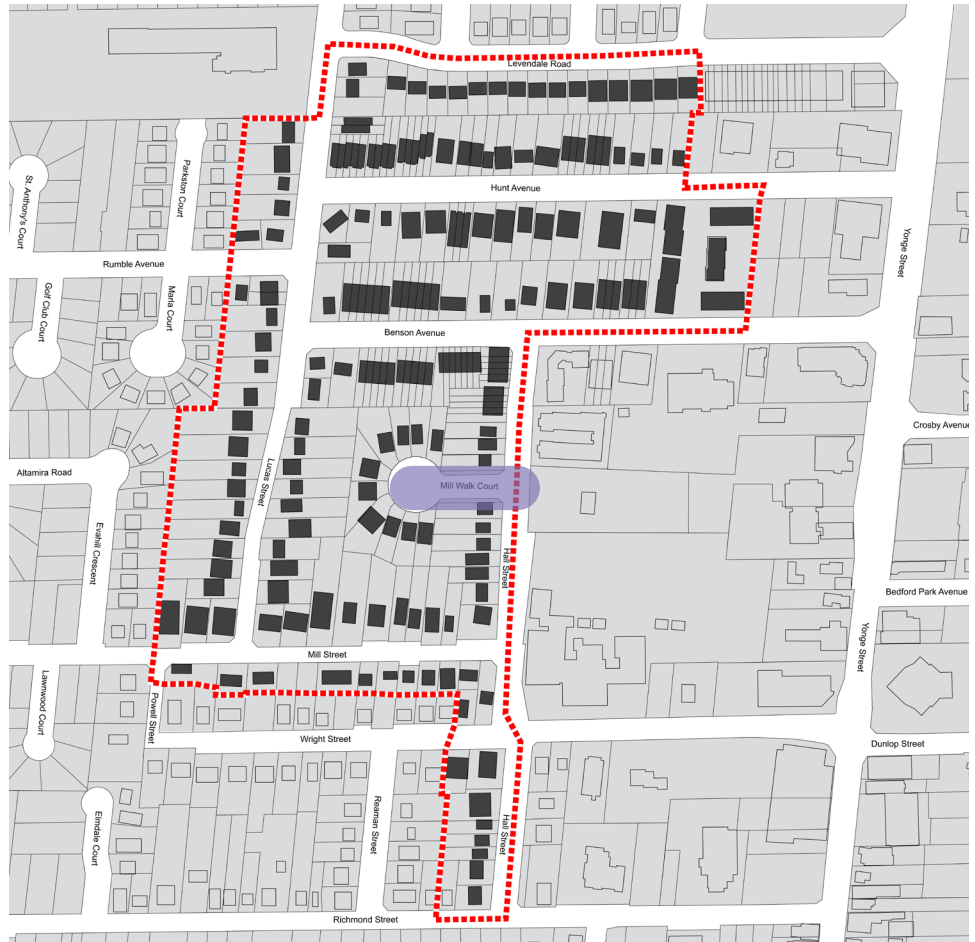
Architecturally and historically import buildings



Consistent building form - single-detached dwellings



3.3.4 MILL WALK COURT



- a) Mill Walk Court is a designated Local Street in the Official Plan.
- b) Mill Walk Court is a unique area of the Tertiary Plan, that was developed in the 1990's as a pocket of single-detached dwellings. As such, the lot sizes, setbacks and form and style of dwelling is consistent.
- c) As a cul-de-sac development located at the rear of existing lots, Mill Walk Court is somewhat isolated from the rest of the area.
- d) Dwellings are 2-storeys in height and their facades clad in a combination of brick and stone, a style that could be termed 'high quality suburban'.
- e) As a development that is over 10 years old, the street trees along the street are relatively small and do not provide significant canopy cover in the area.



Street trees

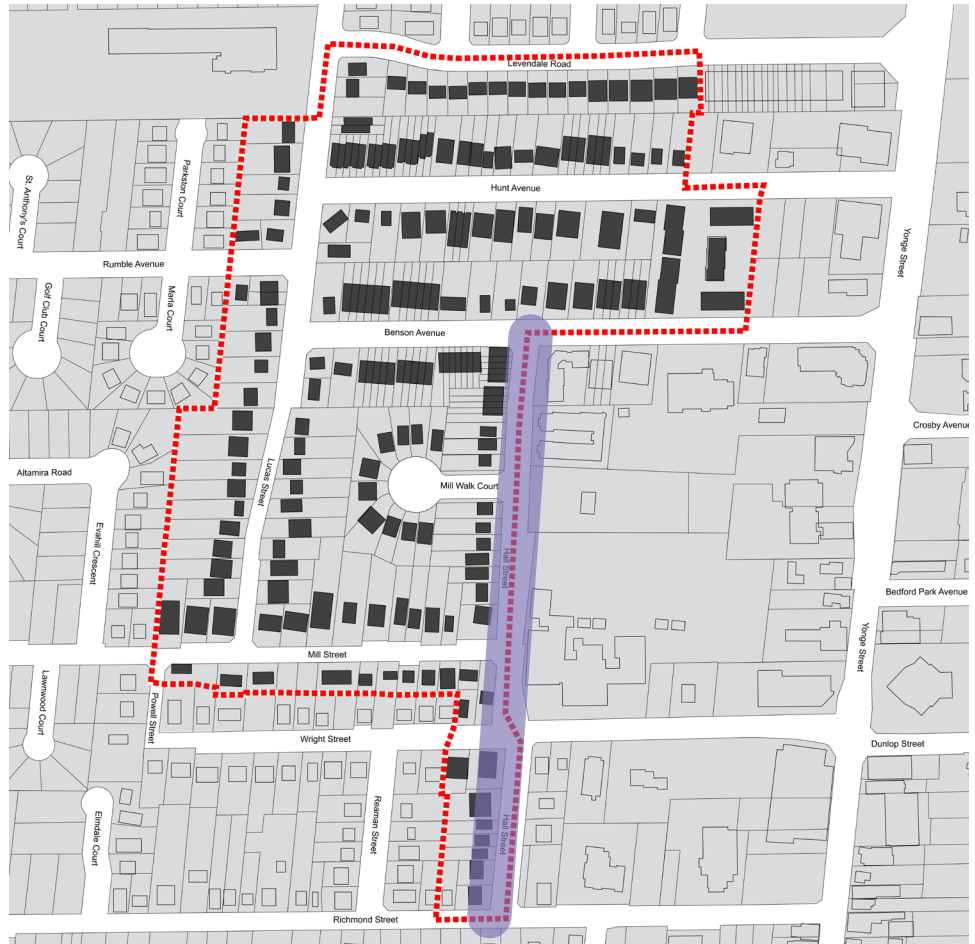


Consistent lot sizes and setback



Consistent building forms and styles, height, and massing

3.3.5 HALL STREET



- a) Hall Street is a designated Local Street in the Official Plan. The portion of Hall Street that connects Mill Street and Wright Street is a designated Collector Street in the Official Plan.
- b) The character of Hall Street varies from north to south and east to west.
- c) Although the east side of the street is not within the Tertiary Plan Area, its attributes help to define the character of this street. The east side of the street, which is a 'neighbourhood' transition within the Downtown Local Centre, includes single-detached dwellings, townhouses dwellings, a large heritage property and a school site.
- d) On the west side of Hall Street, the lotting pattern varies. The north portion, where recent medium-density residential development has occurred, is characterized by smaller lot frontages. The south portion, where primarily single-detached dwellings are located, are characterized by larger lots.
- e) Correspondingly, the built form along Hall Street varies, with 3-storey townhouse dwellings closest to Benson Avenue and 1-storey to 2-storey single-detached dwellings closest towards Mill Street at the south.
- f) Hall Street is a tree-lined street at the south end, with the north end containing very few street trees due to the narrower lot frontages of the existing townhouse dwellings.



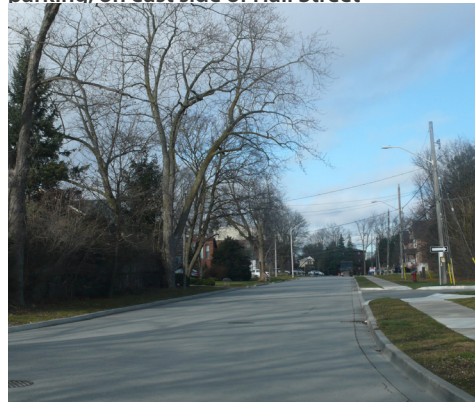
Varied lot sizes, building height and massing



Block townhouses with underground parking, on east side of Hall Street



Fewer trees along the street at the north end



More trees along the street at the south end



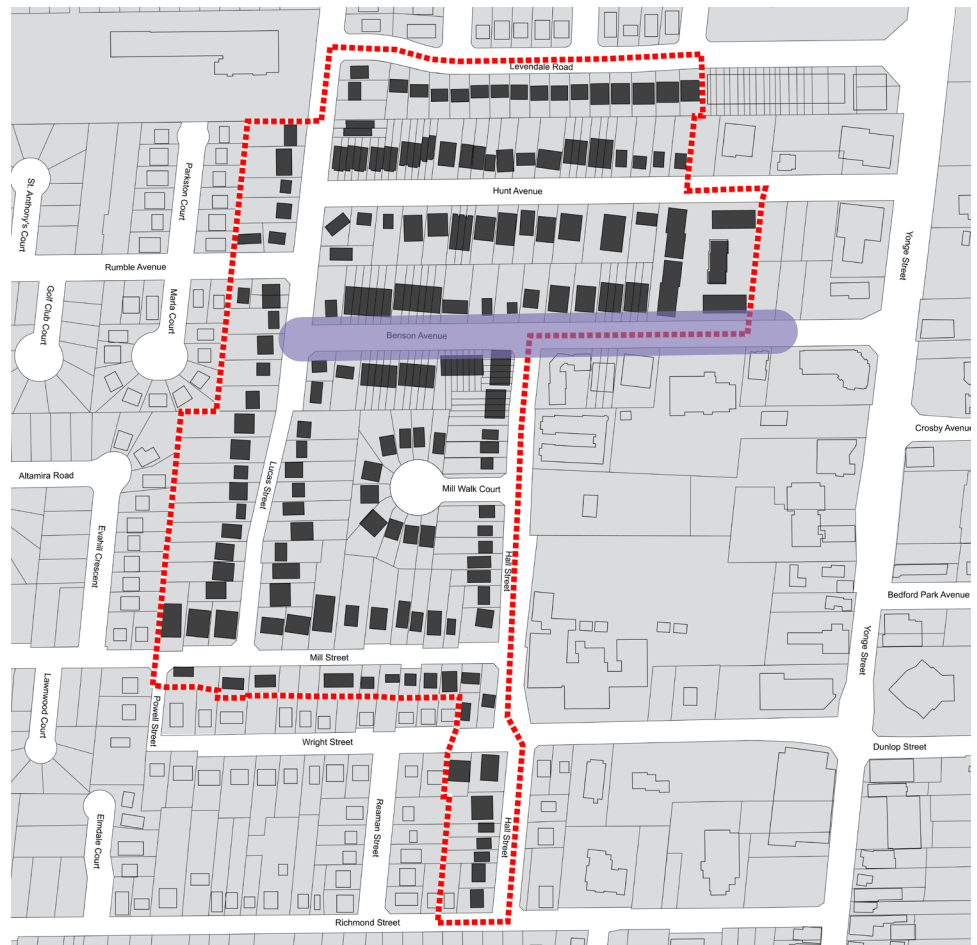
Varied building forms, styles and age of housing



Change in character from the north to south



3.3.6 BENSON AVENUE



- a) Benson Avenue is a designated Local Street in the Official Plan.
- b) Benson Avenue, once characterized primarily by single-detached dwelling forms, has experienced significant change in recent years in the form of medium-density townhouse development.
- c) The form, height, and massing of these townhouses vary.
- d) The height of existing single-detached dwellings vary between 1 and 2-storeys and townhouses are generally 3 storeys.
- e) Buildings are typically clad in brick with some stucco.
- f) Building setbacks from the street varies, as do the setbacks to adjacent buildings.
- g) Although not within the Tertiary Plan area, the southeast corner of Benson Avenue and Hall Street is characterized by townhouse developments, whose attributes have impacted the character of this street.
- h) The lack of tree canopy is evident and most pronounced where new townhouse developments have occurred.



Varied building setbacks



Wide street width



Varied lot sizes, building form, style, height and massing



Lack of tree along the street



More and mature trees on the north side of the street

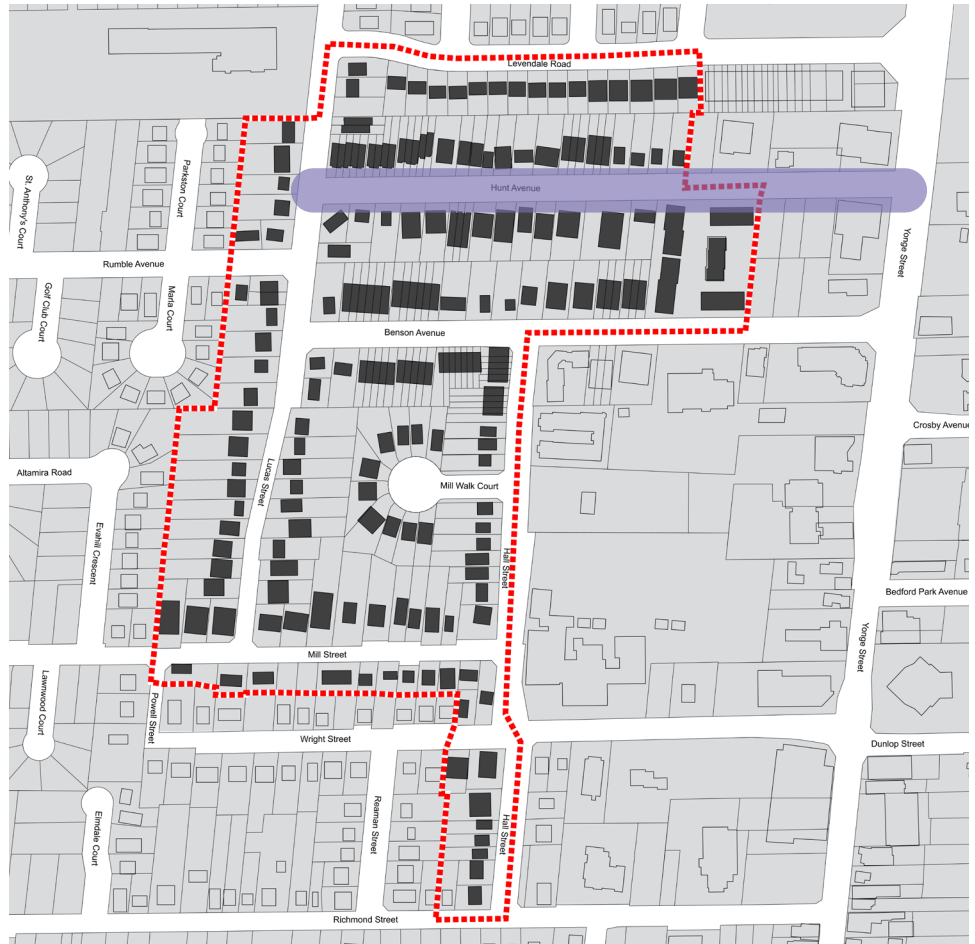


2-storey townhouses



3-storey townhouses

3.3.7 HUNT AVENUE



- a) Hunt Avenue is a designated Local Street in the Official Plan.
- b) Although not to the same extent as Benson Avenue, Hunt Avenue has experienced similar changes, with respect to the development of townhouses.
- c) The form, height, and massing of these townhouses vary, but generally are between 5.0 metres and 5.5 metres in unit/lot width.
- d) The height of existing single-detached dwellings varies between 1 and 2-storeys and townhouses are generally 3-storeys.
- e) On the south side, towards Yonge Street, are a block townhouse development, a walk-up apartment building, and a multi-family unit.
- f) Buildings are typically clad in brick with some stucco.
- g) Building setbacks from the street varies, as do the setbacks to adjacent buildings.
- h) The lack of tree canopy is evident and most pronounced where new townhouse developments have occurred.



Adjacent apartment building (in the Downtown Local Centre)



Wide street width



Varied building forms and styles



Walk-up apartment



Multi-unit dwelling



Single-detached dwelling

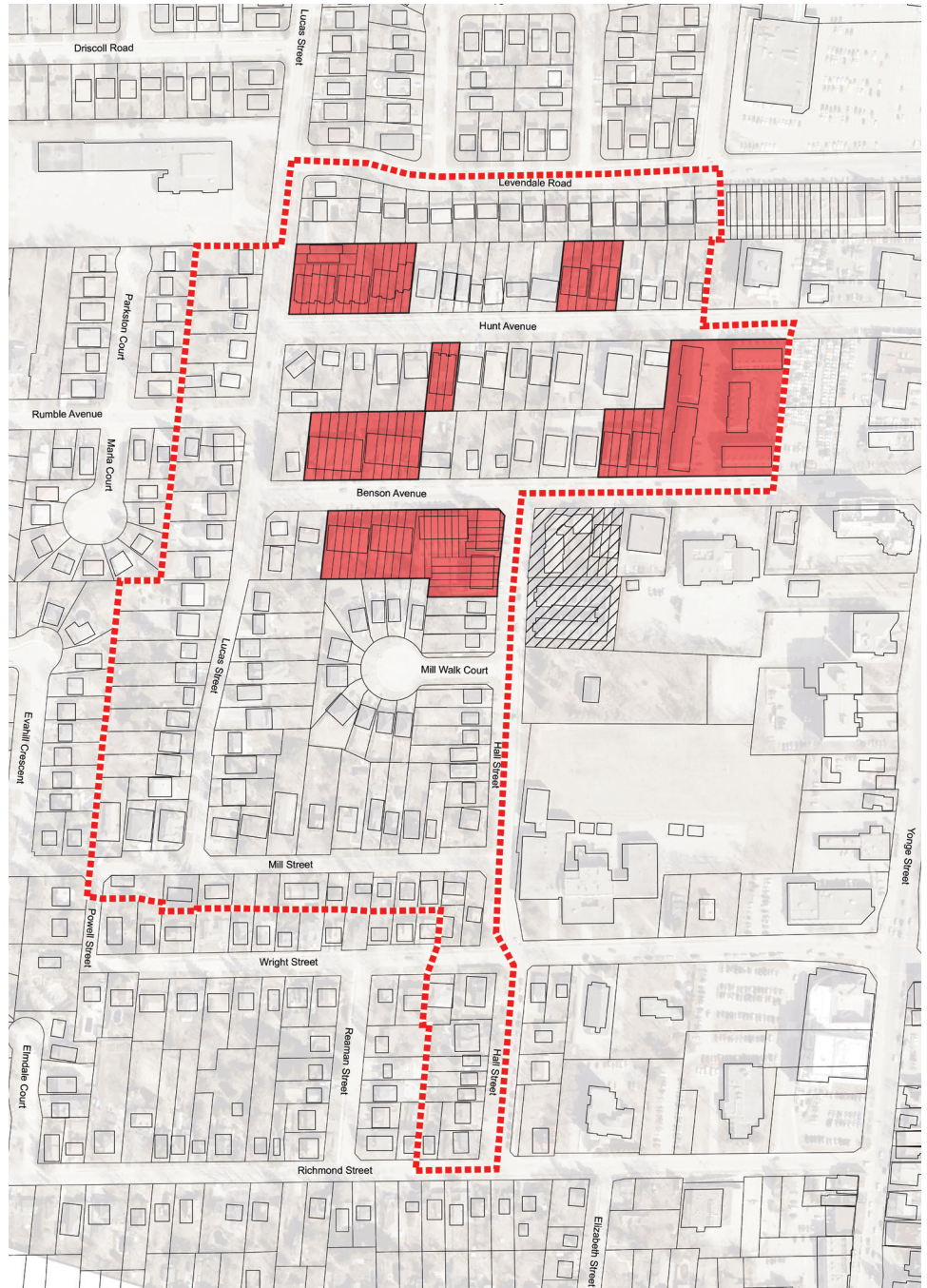


Mature tree canopy on the south side



Lack of tree canopy on the north side

Figure 5 / Existing Medium Density Residential Development Map



- Tertiary Plan Boundary
- Medium Density Development
- ▨ Adjacent Medium Density Development

3.4 EXISTING MEDIUM DENSITY RESIDENTIAL DEVELOPMENT

Medium-density housing forms part of the residential character of the Benson/Hunt Tertiary Plan area.

- a) Medium-density housing forms are concentrated primarily along Benson Avenue and Hunt Avenue and generally in proximity to Yonge Street.
- b) The forms of medium-density development include street townhouses, block townhouses and walk-up apartments. Most of these have been developed on lots previously zoned for single-detached dwellings and/or on lots where the zoning permits such uses.
- c) Some of these developments were approved by the Ontario Municipal Board on a site-specific basis, where the need for a Zoning By-law amendment was required to facilitate the development.
- d) Although not within the Tertiary Plan area, the southeast corner of Benson Avenue and Hall Street has been developed with medium-density housing forms, including street townhouses and block townhouses with underground parking.
- e) There is continued pressures for this form of development particularly in the areas where they currently exist.

3.5 SUMMARY/CONCLUSION

Historically, the pattern and form of development in the Benson/Hunt Tertiary Plan area has been incremental and consisted of mainly 1 to 2-storey single-detached homes sited on relatively large lots. The large landscaped areas afforded by this pattern and form of development created the existing tree canopy and some of the distinctive tree-lined streets we see today. This diversity of housing, the lotting pattern and the mature trees, are key attributes of the character of this area.

Newer development, the majority of which has been in the form of medium-density townhouse dwellings, including street-oriented townhouses, has been focused primarily along Benson and Hunt Avenues. As the existing Zoning By-law does not have the development standards necessary to facilitate these forms of development, most of these medium-density uses have occurred through site-specific amendments to the Zoning By-law.

Medium-density development, implemented in this manner, has had an impact on the character of the Tertiary Plan area. They include:

- a) The loss of street trees as well as the diminished opportunities to plant new street trees.
- b) Narrow lot frontages and increased numbers of driveways.
- c) The increased number of driveways have reduced the opportunity for on-street parking at the curb.

- d) The overall increase of hard surface paving has reduced opportunities for ground water infiltration and landscaping.
- e) The predominance of driveways has resulted in less pedestrian-oriented streetscapes.

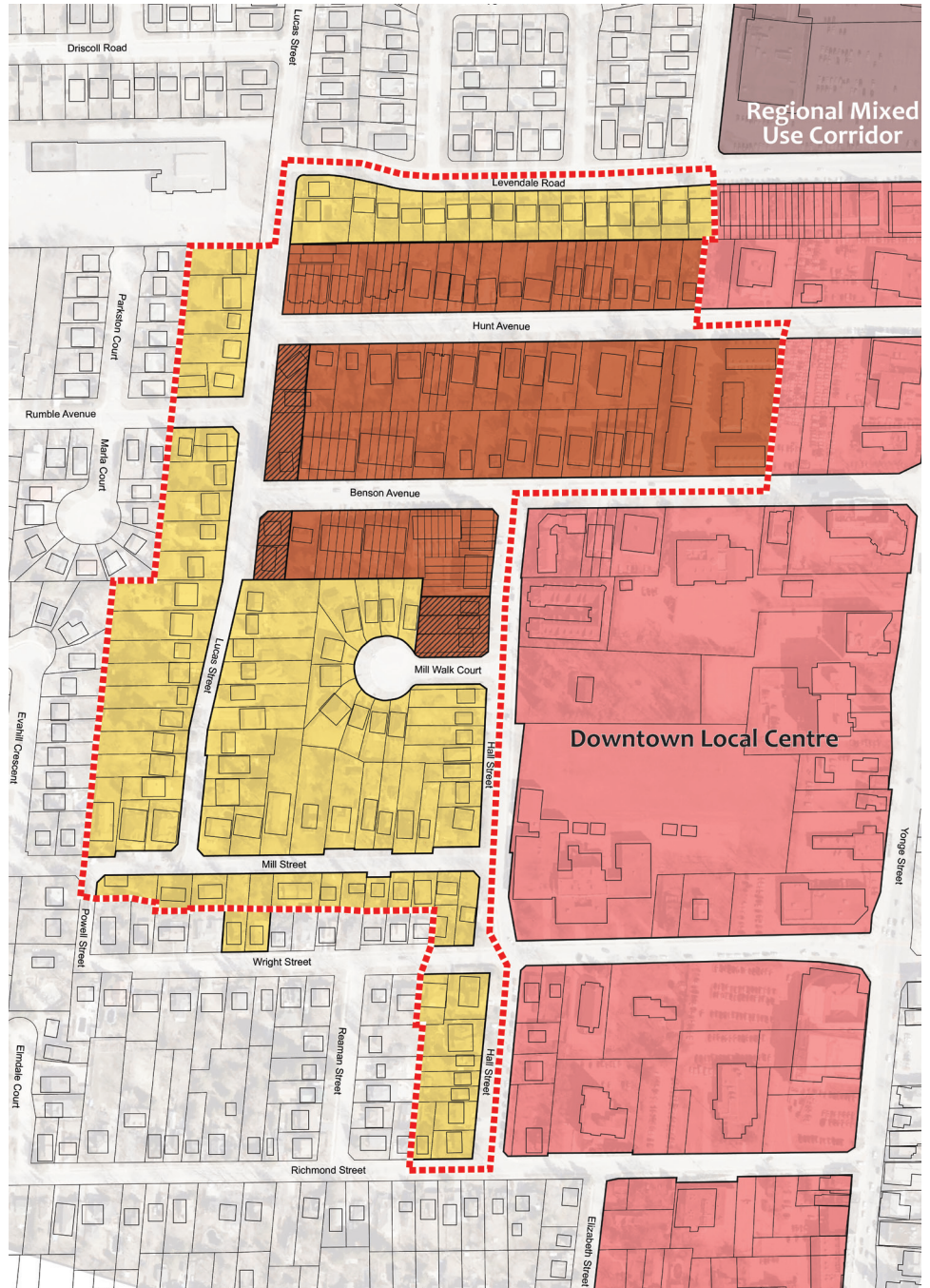
Moreover, new buildings have not recognized the attributes of their neighbours in either form or design, resulting in streetscapes that appear disparate and unrelated to one another and to the street.

These concerns were reinforced by residents through the public consultation process. It was noted that the unique attributes of the neighbourhood – such as the tree-lined streets, the diversity of buildings, the massing, height and relationship of buildings to one another and to the street, were not being respected by the new developments. In addition to how new developments were to occur, the question of where new development would be located, was also raised.

In this regard, the Official Plan sets out the requirements to undertake a Tertiary Plan. The Benson/Hunt Tertiary Plan, involving the analysis of the planning context, the physical context, the character of the neighbourhood, and input from public consultation is intended to guide future development in the area. It provides direction on where development is to occur and on how it is to occur, in a manner that ensures that new development represents a 'good fit' within the existing context of the area and recognizes and enhances the unique character of the neighbourhood.

4.0 TERTIARY PLAN

Schedule B - Tertiary Plan



- Tertiary Plan Boundary
- Medium Density Area
- ▨ Transition Area
- Low Density Area
- Downtown Local Centre
- Regional Mixed Use Corridor

4.0 TERTIARY PLAN

- a) The Benson/Hunt Tertiary Plan has been prepared in accordance with the policies of the Official Plan, and should be read and implemented in conjunction with the criteria and urban design policies of this Plan and the policies of the Official Plan.
- b) The Tertiary Plan provides a framework for future development in the area by identifying locations that permit medium-density residential development, low-density residential development, transition areas between the two and establishes design criteria to guide their development to ensure a 'good fit' within the existing context of the surrounding area.

4.1 LAND USE DIRECTIONS

- a) To provide direction for development in the Tertiary Plan area, including medium-density forms of housing and to ensure that development represents a 'good fit' within the existing context of the surrounding area, the Tertiary Plan identifies three distinct areas – a 'Low-Density Area', a 'Medium-Density Area' and transition areas as shown on Schedule B attached to the Tertiary Plan.

4.1.1 LOW-DENSITY AREA

- a) The Low-Density Area is focused along Levendale Road, Lucas Street, Mill Walk Court, Mill Street and the west side of Hall Street, south of Mill Walk Court, refer to Schedule B.
- b) Within the Low-Density Area, single-detached dwellings are permitted.
- c) Semi-detached dwellings may also be permitted in the Low-Density Area subject to a Zoning By-law amendment.
- d) Medium-density dwellings such as townhouses, are not permitted in the Low-Density Area.
- e) Buildings in the Low-Density Area shall be a maximum 2-storeys in height. Building heights for new development shall be subject to the applicable design criteria in section 5.0.

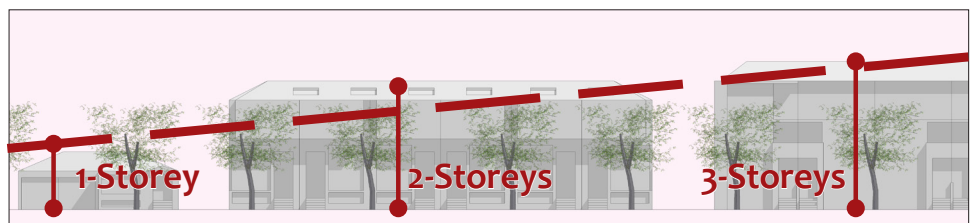
4.1.2 MEDIUM-DENSITY AREA

- a) The Medium-Density Area is focused along Benson Avenue and Hunt Avenue, and includes the west portion of Hall Street north of Mill Walk Court. The limits of the Medium-Density Area are the centre-line of the associated streets or the rear lot line adjacent to the Low-Density Area, refer to Schedule B.
- b) The Medium-Density Area encompasses the lands mainly along Benson and Hunt Avenues, where medium-density residential uses currently exist, within the Tertiary Plan area.
- c) Within the Medium-Density Area, townhouse dwellings are permitted. In addition, single-detached dwellings and semi-detached dwellings are also permitted in the Medium-Density Area.

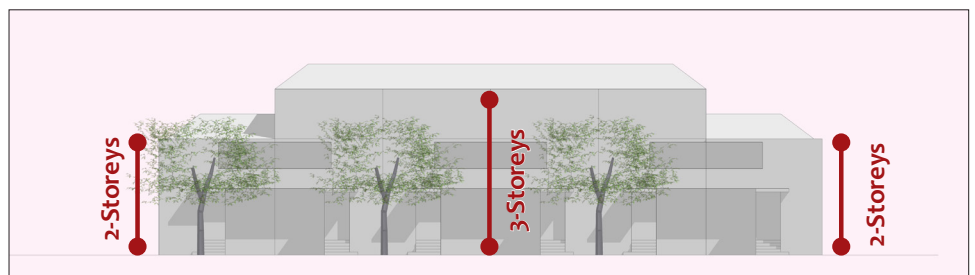
- d) Buildings in the Medium-Density Area shall be a maximum of 3-storeys in height. Building heights for new development shall be subject to the applicable design criteria in section 5.0.

4.1.3 TRANSITION AREA

- a) Areas within the Medium-Density Area adjacent to Low-Density Areas, are identified as 'Transition' Areas, as shown on Schedule B.
- b) The purpose of the Transition Areas is to provide a clear boundary for the development of medium-density residential uses and to provide transition to the Low-Density Areas.
- c) Within the Transition Area, townhouse dwellings, semi-detached dwellings and single-detached dwellings are permitted, subject to the criteria set out in section 5.0.
- d) The following height requirements shall apply to the Transition Area:
- A maximum building height of 2-storeys adjacent to existing Low-Density dwellings
 - A maximum building height of 3-storeys adjacent to existing Medium-Density dwellings.
- e) In order to ensure appropriate transition to Low-Density Areas, new dwellings in the Transition Area shall be subject to site-specific design guidelines with respect to building height, building setbacks, site planning, landscape design and grading criteria, refer to 5.3.
- f) Building heights should transition down to 2-storeys adjacent to the Low-Density Areas, and up to 3-storeys adjacent to the Medium-Density Areas, and in accordance with the design criteria set out in sections 5.1.2 and 5.3 of the Tertiary Plan.



Building height transition along the street



Building height transition within a townhouse block (one building)

5.0

**URBAN DESIGN
GUIDELINES**

5.0 URBAN DESIGN GUIDELINES

Central to the Tertiary Plan is the need to ensure that new development is compatible and represents a 'good fit' within the physical context and character of the surrounding area and to ensure that this area continues to have a strong and vibrant identity. On this basis, the following guiding principles shall guide development in the Tertiary Plan area:

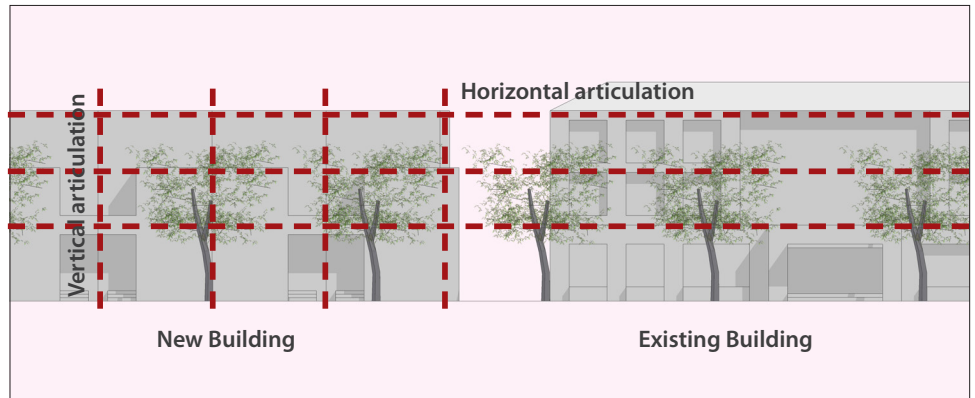
- i. Enhance the unique character of the neighbourhood
- ii. Ensure new development is compatible with and respectful of the character of the neighbourhood; and
- iii. Ensure design excellence in the private and public realm.

5.1 BUILT FORM CRITERIA

New buildings shall contribute to the creation of a high quality public realm, ensure a sensitive transition to adjacent residential dwellings and enhance the overall character of the neighbourhood. To this end, the following general built form criteria shall apply to all residential development within the Benson /Hunt Tertiary Plan area:

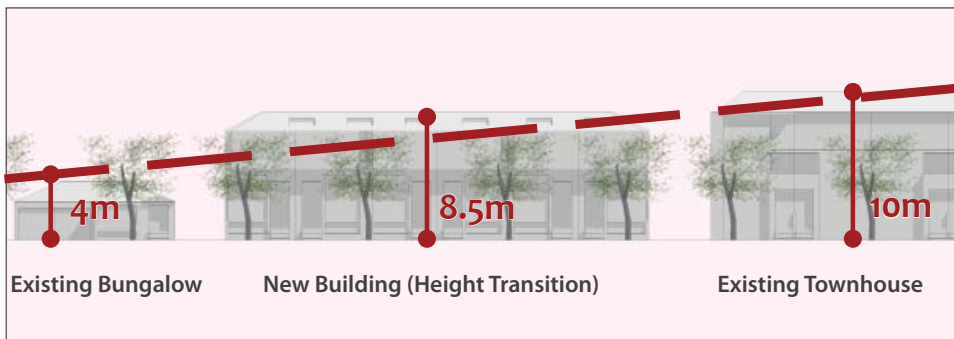
5.1.1 FACADES

- a) The vertical and horizontal articulation of the façade should be compatible with the adjacent homes, including fenestration, lintels, sills, and cornice lines.
- b) To avoid long building facades with little articulation, individual units should be highlighted by varying the setback of elements of the facade and the exterior materials.



5.1.2 BUILDING HEIGHT AND SETBACKS

- a) For the purposes of these guidelines, height shall be defined as the vertical distance as measured from the established/finished grade at the front wall of the building to the peak of the roof.
- b) For the purposes of these guidelines, a storey shall be defined as one level of habitable living space.
- c) Front yard setbacks shall be minimized to create a pedestrian-oriented streetscape or shall reflect that of adjacent homes, or be the average distance of those on either side of the development.
- d) Side yard setbacks shall reflect that of adjacent homes, or be the average distance of those on either side of the development to a minimum of 1.5 metres.
- e) The following height requirements shall apply:
 - A maximum building height of 2-storeys for single-detached dwellings
 - A maximum building height of 2-storeys to 3-storeys for semi-detached and townhouse dwellings, in accordance with section 4.0 and 5.3 of the Tertiary Plan.
- f) Building heights of new buildings shall provide a transition to/from existing adjacent buildings.



5.1.3 UNIT WIDTH AND LENGTH

- a) Building widths shall be in accordance with those set out in section 5.4 Building Typologies including;
 - Street townhouses shall have a minimum unit width of 6.5 metres,
 - Lane based townhouses shall have a minimum width of 5.0 metres for 1-car garage and 6.0 metres for dwellings with a 2-car garage;
- b) Buildings shall not exceed 6 units per townhouse block.



Integrated garages

5.1.4 GARAGES AND DRIVEWAYS

- a) Designs should de-emphasize the garage, with garage doors integrated into the façade of the units.
- b) To mitigate the impact of driveways on the streetscape, landscaping and tree planting, hard surface pavement should be minimized.
- c) Street accessed driveways should be paired to minimize interruptions at the street and to maximize landscaped areas for tree planting and landscaping.



Minimize entry steps

5.1.5 FRONT ENTRIES AND STEPS

- a) Front entries and steps should be integrated into the design of units, with a maximum of 5 steps at the exterior.

5.1.6 CORNER LOTS

- a) Corner units are visually prominent locations and shall be designed with both facades, visible from the street, of equal importance.
- b) Corner units shall be designed with its main entry at the exterior side yard.
- c) Building elements such as wrap-around porches and corner features, should be incorporated in the design of corner units.



Front entries address the street

5.1.7 MATERIALS AND DESIGN ELEMENTS

In the Benson/Hunt Tertiary Plan area the detailing and materials used in the design of new buildings should reflect that of the other homes in the area.

- a) A variety of coordinated and complementary materials that enhance the character of the neighbourhood is encouraged.
- b) Design elements that relate to and are compatible with the predominant style of the neighbourhood should be incorporated in new designs.
- c) All exterior colour and material packages shall include the highest quality of materials.
- d) Colour packages shall be designed to create a harmonious streetscape. However, a variety of materials and colours is encouraged to avoid long monotonous facades.
- e) In keeping with the homes in the area the following main cladding materials may be used:
 - Brick masonry;
 - Stone, with natural stone being encouraged;
 - Stucco as accent, only where it is integral to the architectural style of the dwelling;
 - All siding shall be fibre-cement or high quality vinyl.



Special corner treatment

- f) Where fibre-cement is used as a main cladding material, it is encouraged that a range of colour tones be utilized including medium and darker tones to add character and variety;
- g) Where stucco or fibre-cement is used, a stone or masonry base is encouraged on all elevations; and,
- h) Landscape paving, walls, columns and piers shall incorporate the same palette of materials and shall be coordinated with the building design and streetscape.

5.2 LANDSCAPE AND GRADING CRITERIA

The following landscape criteria shall apply to both the private and public landscaped areas within the Tertiary Plan area;

- a) Enhance the bio-diversity of the area through planting of native, non-invasive, trees and shrubs, refer to the Town of Richmond Hill's 'Native Trees Selection Guide'.
- b) Preserve and incorporate existing mature trees, where possible.
- c) Enhance the urban canopy and create tree-lined streets.
- d) Soil volumes and conditions should be maximized for optimum tree growth.
- e) Interfaces between private and public areas should be delineated using a combination of hard and soft landscape elements.
- f) Landscape design elements and features shall be in keeping with the character of the neighbourhood.
- g) Site grading shall minimize alterations to the existing site.
- h) The maximum recommended slope for front and side yards is 2-5%.
- i) Retaining walls are to be avoided, where possible.
- j) Permeable paving is encouraged.



2-tone brick facade



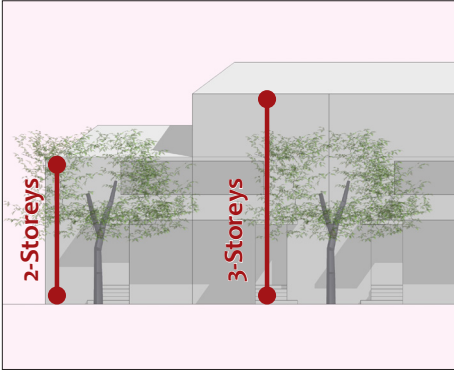
Coordinated materials



High quality detailing



Use of landscape elements to define the private and public interface



Three-storey townhouse block, stepped down to 2-storeys at the end unit as a transition to an adjacent 2-storey dwelling

5.3 CRITERIA FOR TRANSITION AREAS

The Transition Areas of the Benson/Hunt Tertiary Plan are shown on Schedule B. Development within these areas shall be subject to site-specific development criteria to ensure that built form, site planning and landscaping provides an appropriate transition to low-density residential dwellings.

5.3.1 LUCAS STREET TRANSITION

- a) The existing lots on the east side of Lucas Street, adjacent to Benson and Hunt Avenues, shown as Transition Area on Schedule B, are intended to provide a transition between development in the Medium-Density Area and the Low-Density Area to the west.
- b) As a means of providing transition to the Low-Density Area to the west,
 - single-family dwellings should not exceed 2-storeys in height
 - semi-detached dwellings and townhouse dwellings should be 2-storeys in height or stepped down to 2-storeys adjacent to the Low-Density Area.
- c) Street townhouses shall only be permitted to front onto Benson Avenue and Hunt Avenue, and may flank onto Lucas Street.
- d) Buildings located at the view terminus of Rumble Avenue shall be oriented and designed to provide an attractive and articulated primary façade to the street. Driveways and garages are discouraged from being located at the view terminus.
- e) Built form shall incorporate main entries and enhanced design elements/features.
- f) Landscaping shall have regard for maintaining the existing coniferous trees along Lucas Street, where possible, or providing new trees that create a connected canopy and shaded pedestrian streetscape in this location.

5.3.2 HALL STREET TRANSITION

- a) The Transition Area on the west side of Hall Street and north of Mill Walk Court, is intended to provide a transition between the existing 3-storey townhouses in the Medium-Density Area, to the 2-storey single-detached dwellings in the Low-Density Area.
- b) As a means of providing transition to the Low-Density area to the south,
 - single-family dwellings should not exceed 2-storeys in height
 - semi-detached dwellings and townhouse dwellings should be 2-storeys in height or stepped down to 2-storeys adjacent to the Low-Density Area.

5.4 BUILT FORM TYPOLOGIES

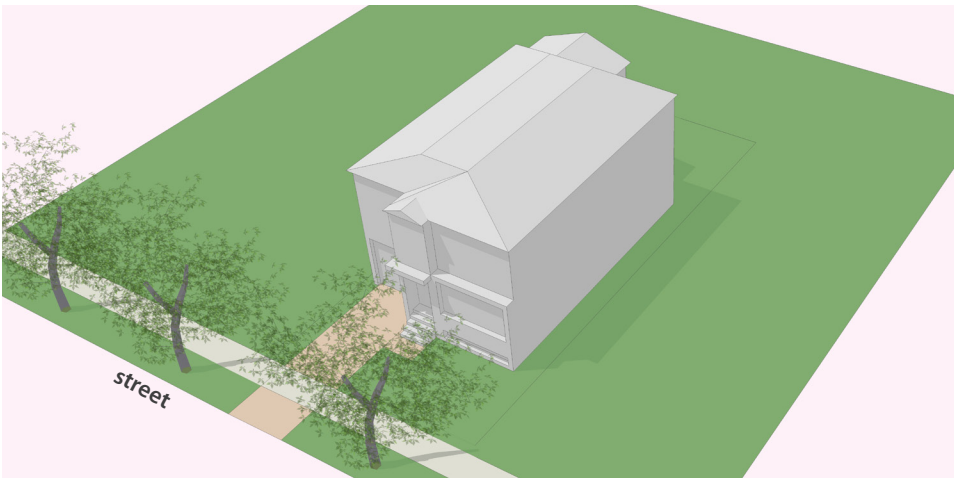
This section of the Tertiary Plan identifies built form criteria for low-density and medium-density dwelling forms in the Tertiary Plan area.

A number of options for medium-density forms are provided and respond to the challenges presented by street-oriented townhouse development in the area. Design criteria for these forms of dwellings are aimed at ensuring that future development represents a 'good fit' within the context of the surrounding area, and preserves and enhances the character of the area.

The feasibility of developing the various dwelling forms shall take into consideration the location, size, configuration, access and adjacent context of the subject lot(s)/lands.

SINGLE-DETACHED DWELLING

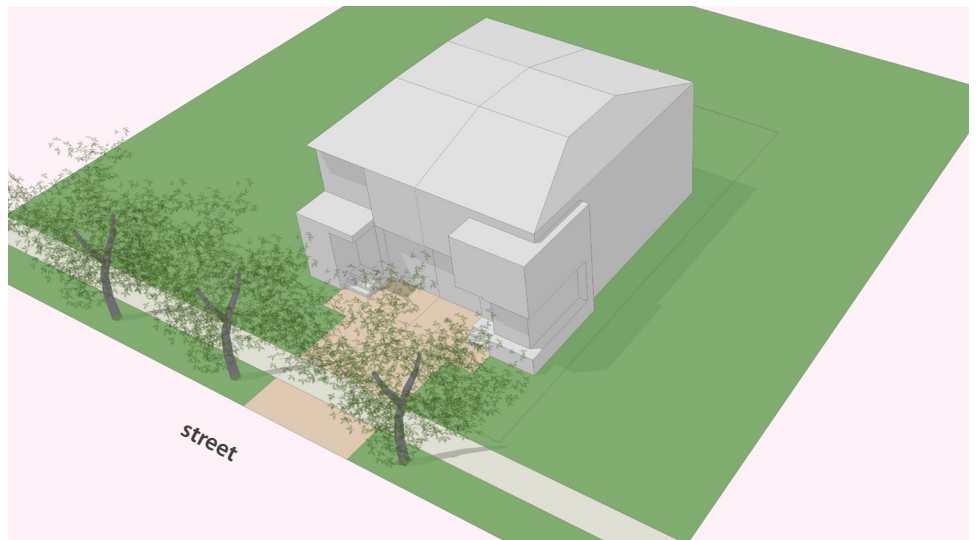
- a) In addition to the General Built Form and Landscape Criteria, the following built form criteria shall also apply to single family detached dwellings:
 - i. Garage width shall not exceed 45% of the total front façade and garage doors should be designed as an integral part of the building facade;
 - ii. Building height shall not exceed 2-storeys;
 - iii. Recommended maximum lot coverage of 40% of the area of the lot;
 - iv) Roof lines should be articulated to generate visual interest. This may be accomplished through variation in roof slopes at the ends of units, dormers and differing roof pitches.



Single-detached units with high-quality landscape

SEMI-DETACHED DWELLING

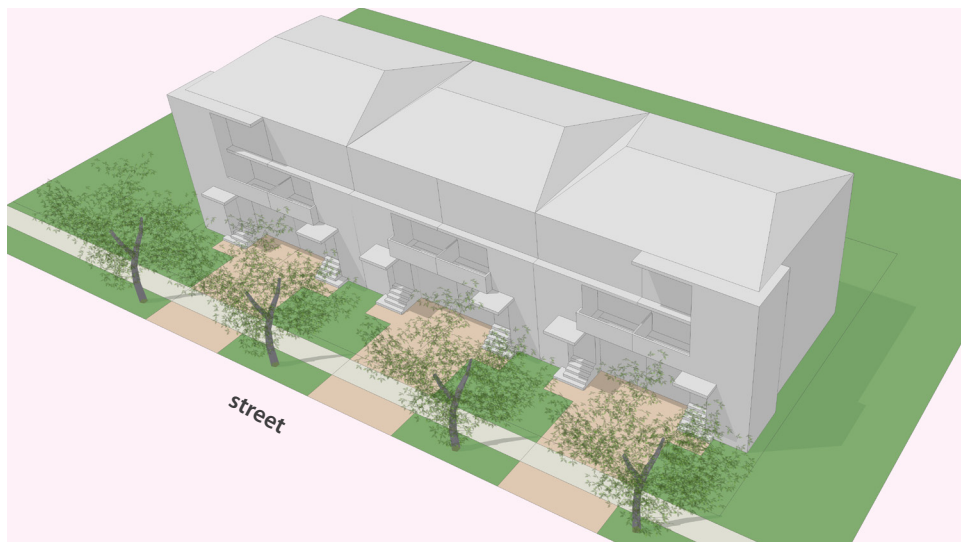
- b) In addition to the General Built Form and Landscape Criteria, the following built form criteria shall also apply to semi-detached dwellings:
- i. Garage width shall not exceed 50% of the total front façade;
 - ii. Building height may be 2-storeys or 3-storeys to reflect the height of adjacent built form and in accordance with section 5.1.2;
 - iii. Buildings shall be setback a distance from the street that reflects the general setback of adjacent dwellings.



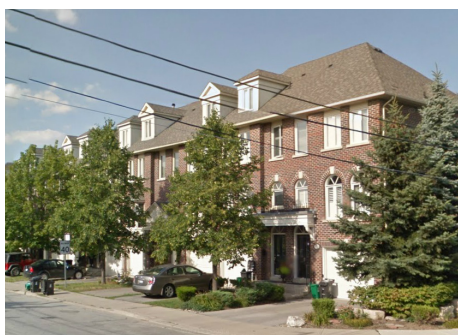
Oriole Road, Toronto

STREET TOWNHOUSE DWELLING

- c) In addition to the General Built Form and Landscape Criteria, the following built form criteria shall also apply to street townhouse dwellings:
- i. The unit width of street townhouses with a 1-car garage shall be a minimum of 6.5 metres;
 - ii. Garage width shall not exceed 50% of the total front façade;
 - iii. A block of street townhouse dwellings should not exceed 6 units/row.
 - iv. Building height may be 2-storeys or 3-storeys to reflect the height of adjacent built form;
 - v. Roof lines should be articulated to emphasize individual units and generate visual interest. This may be accomplished through variation in roof slopes at the ends of units, dormers and differing roof pitches.



Brussels Street, Toronto



Mendota Road, Toronto

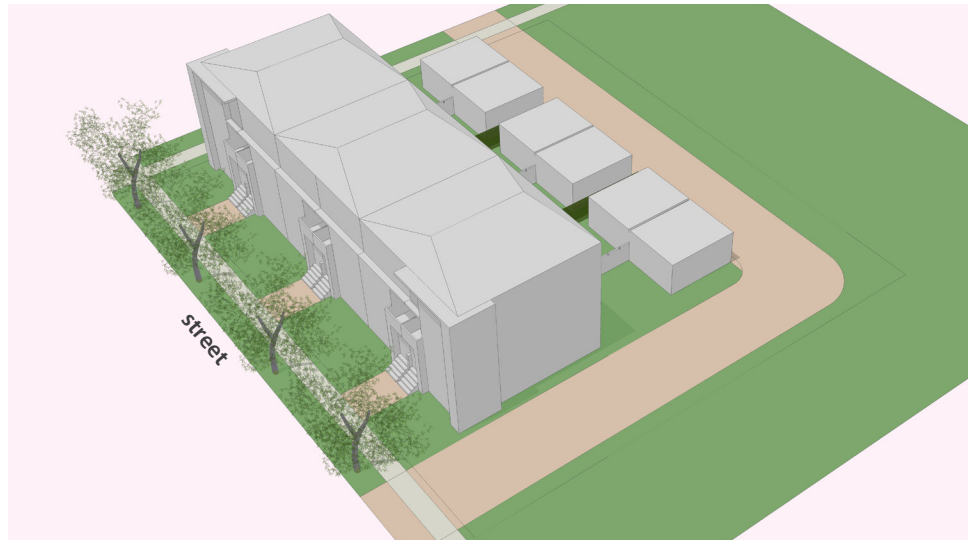
REAR-LANE TOWNHOUSE DWELLING

d) Rear-lane Townhouse Dwellings do not currently exist in the Medium-Density Area.

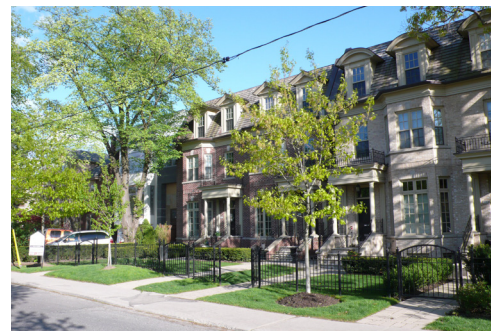
This form of development locates garages at the rear of the dwellings, and with the absence of driveways at the front, creates significant landscaped areas at the street to create a tree-lined streetscape and enhance the pedestrian zone.

In addition to the General Built Form and Landscape Criteria (refer to 5.0), the following shall also apply to rear-lane townhouse dwellings:

- i. The unit width of dwellings with a 1-car garage shall be a minimum of 5.0 metres and the unit width of dwellings with a 2-car garage shall be a minimum of 6.0 metres;
- ii. The minimum front yard setback is 4.5 metres;
- iii. Steps and porches may encroach into the front yard setback;
- iv. Building height may be 2-storeys or 3-storeys to reflect the height of adjacent built form and in accordance with section 5.1.2.
- v. This form of development would be appropriate at a corner or end of block location where street access to a lane is possible and where there is sufficient lot depth to accommodate a lane.



Mutual Street, Toronto



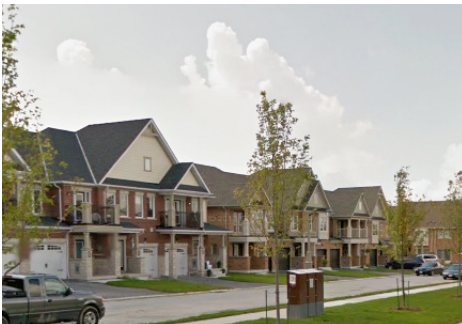
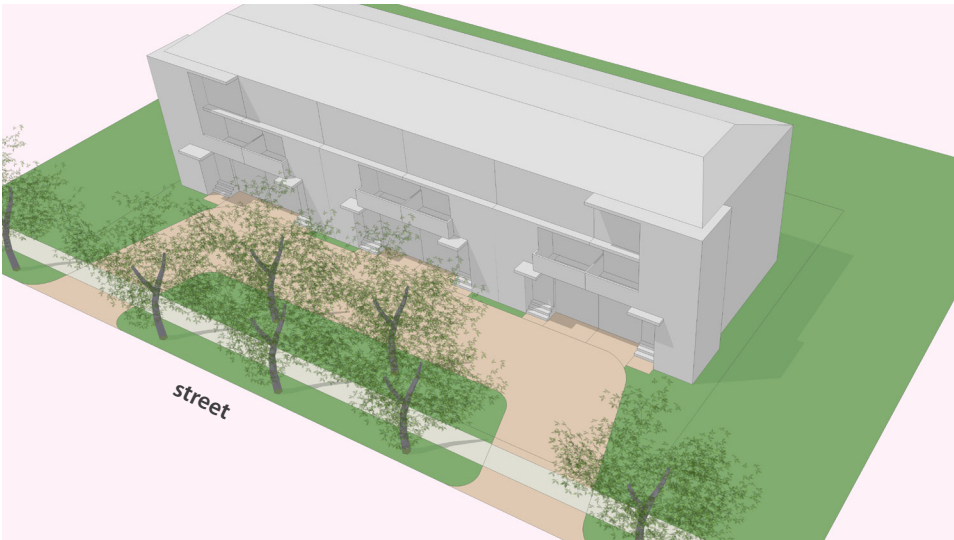
Lonsdale Road, Toronto

FRONT LANE TOWNHOUSE DWELLING

- e) Front-lane Townhouse Dwellings do not currently exist in the Medium-Density Area. This form of development would be appropriate at a mid-block location and, with its minimal driveway interruptions, maximizes areas at the street for landscaping and tree planting.

In addition to the General Built Form and Landscape Criteria (refer to 5.0), the following shall also apply:

- i. The unit width of dwellings with a 1-car garage shall be a minimum of 6.5 metres.
- ii. Garage width shall not exceed 50% of the total front façade;
- iii. Building height may be 2-storeys or 3-storeys to reflect the height of adjacent built form and in accordance with section 5.1.2
- iv. The front-lane is the common driveway and garages shall be located a maximum of 1.5 metres from the lane.



Cardinal Point, Whitchurch-Stouffville



Isabella Street, Toronto

6.0

IMPLEMENTATION

6.0 IMPLEMENTATION

This section of the Tertiary Plan describes the tools that shall be utilized for development proposed within the Benson/Hunt Tertiary Plan area. The tools described herein are derived from the policies set out in the Official Plan and should be read in conjunction with the policies of the Plan.

6.1 PRE-APPLICATION MEETINGS

In accordance with the policy requirements of the Official Plan, a pre-application meeting is required prior to the submission of applications for development. Development applications that are submitted to the Town prior to a pre-application meeting with the Town shall be considered incomplete.

Applicants who propose development in the Benson/Hunt Tertiary Plan area in accordance with the policies of the Official Plan are required to attend a pre-application meeting with the Town. The purpose of the pre-application meeting, among other matters, is to:

- scope the issues associated with development proposals within the Benson/Hunt Tertiary Plan area;
- inform proponents of the Benson/Hunt Tertiary Plan requirements, as approved by Council.

6.2 SITE PLAN CONTROL

Section 5.14 of the Town's Official Plan sets out policies and requirements for Site Plans, in accordance with the provisions prescribed under Section 41 of the Planning Act. The entire Richmond Hill Official Plan area is designated as a Site Plan Control area. On that basis, Council, by way of a Site Plan Control By-law passed under Section 41 of the Planning Act, has identified specific areas and types of development that are subject to Site Plan Control whereby development may not be undertaken without Site Plan approval.

The intent of the Site Plan process is to ensure that development meets the standards and requirements set out by the Town, Region and other required agencies. The Site Plan process allows the Town to consider and impose conditions on development in accordance with the policies of the Official Plan, Design Guidelines and applicable Zoning Standards, that have been approved by Council.

Certain lands, generally south of Benson Avenue and west of Lucas Street within the Benson/Hunt Tertiary Plan area, are within an area currently subject to Site Plan Control. Within this area, all classes of residential development, including low-density and medium density uses are subject to Site Plan Approval.

To ensure that development is consistent with the criteria and requirements of the Tertiary Plan, as approved by Council, it is recommended that the Town's Site Plan Control By-law, as amended, be further amended to designate the entire Benson/Hunt Tertiary Plan area to be subject to Site Plan Control for all types of residential development.

6.3 CONCEPT PLAN AND URBAN DESIGN BRIEF REQUIREMENTS

Concept Plans

Development in the Benson/Hunt Tertiary Plan area may be required to submit a concept plan in accordance with the requirements set out in Section 5.2 of the Official Plan. Where required, the concept plan shall be prepared in accordance with the requirements of the Official Plan and shall form part of the complete application submission requirements prescribed by the Planning Act.

Where required the concept plan shall, among other matters:

- Identify the boundaries proposed for development;
- Identify the layout and use of the land proposed for development; and
- Identify the form of development proposed and its relationship to abutting lands and the larger Tertiary Plan area.

Justification Report

In addition to the concept plan requirement, proponents shall be required to submit a Justification Report in support of their development proposal. The Justification Report shall be required to detail how the proposed development conforms to the Benson/Hunt Tertiary Plan, as approved by Council. Section 5.0 of the Official Plan sets out requirements for justification reports and other complete application submission requirements.

6.4 ZONING BY-LAW

Zoning By-law 66-71, as amended, is currently in effect for the Benson/Hunt Tertiary Plan area. It is recommended that the Town undertake a review of the Zoning By-law in relation to the design guidelines and development standards set out in the Tertiary Plan.

Until such time as Council has amended the Zoning By-law for the area, applications for development that propose amendments to Zoning By-law 66-71 to facilitate development in the Tertiary Plan area shall be based on conformity with the policies of the Official Plan and the Benson/Hunt Tertiary Plan, as approved by Council.

